

Introduction

Some minor building works do not need an Application for Building Warrant and are exempt from the requirements of the Building Regulations. There is also other work that can be undertaken without a Building Warrant but must comply fully with Building Regulations.

This leaflet provides basic information in regard to this type of work. You should note however that it is only relevant to work in and around Houses. Work to Flats and Commercial Buildings etc. have different requirements and you are advised to contact us for guidance.

Exempt work – Building Warrant not required

Building Regulations do not apply to the following:-

- A detached single storey building such as a small Shed or Storage Building. These are limited to a maximum area of 8 square metres and must be located at least 1 metre from the House unless the building is at least 1 metre from the boundary.
- A single storey Conservatory or Porch attached to the House provided the area of the Conservatory or Porch is not more than 8 square metres and is located at least 1 metre from the boundary.
- A single storey building, consisting of a Greenhouse, Car Port or covered area with an area not more than 30 square metres.

In all cases the buildings must not provide any form of sleeping accommodation, contain a sanitary facility or a fixed combustion appliance or flue and must be located within the Site boundaries of the House.

Work which does not require a Building Warrant but must comply with Building Regulations

Alterations

Any work to or in a House other than; work which increases the floor area, alteration or demolition of walls, floors, roofs and structural elements, work adversely affecting a separating wall and any alterations to the underground drainage.

Detached Single Storey Buildings

Garages, Storage Buildings and Summer Houses exceeding 8 square metres but not exceeding 30 square metres provided the building is located at least 1 metre from the House unless it is at least 1 metre from the boundary.

Central Heating Systems

Work associated with the provision of pipework, radiators, convector heaters, thermostatic controls or relining an existing chimney. Not included is the provision of a boiler or flue, other than certain room sealed gas boilers and balanced flues which discharge through non-combustible walls.

Thermal Insulation

Replacing or upgrading thermal insulation within a wall, ceiling, roof or floor. This does not include the application of thermal insulation to the outer surface of an external wall, for which a Building Warrant would be required.

Walls and Fences

A wall, not exceeding 1.2 metres in height or a fence not exceeding 2 metres in height above ground.

Decking

External decking which does not form part of the main access to the House and is located at a height not exceeding 1.2 metres above the ground.

Sanitary Facilities

Any work associated with the relocation of sanitary facilities within the same room. This includes the replacement of a Bathroom suite within an existing Bathroom. Any change to the method of wastewater discharge however, is not included and a Building Warrant would be required.

Doors and Windows

Doors, windows or roof lights may be replaced provided the existing structural openings are not altered including the removal of window mullions.

Ramps

A ramp may be constructed to a door provided it does not exceed 5 metres in length.

Stair Lift

Fitting a stair lift to an existing stair does not require a Building Warrant.

Important definitions

Area – all areas are internal floor areas measured from the inside face of the walls

Car Port – is a roofed building for vehicle storage which is open on at least two sides except for roof supports

Conservatory – is a building attached to a Dwelling and having a door dividing it from the Dwelling and having no less than three-quarters of the roof area and no less than one half of the external walls made of translucent material.

Covered Area – means a roofed building which is open on at least two sides except for roof supports.

Greenhouse – is a building used mainly for growing plants, which is not entered from the House.

Porch – is a building attached to and having an entrance from the House.

The above exemptions and conditions can be quite confusing. It is your responsibility to ensure that any alterations carried out comply fully with Building Regulations. It is strongly recommended that you seek advice from the Building Standards Office before carrying out any work of the type listed above. We can provide a written assessment of any proposals if required. Please see information leaflet no 5 – Domestic Buildings – Work which does not require a Building Warrant and Minor Works Assessment.

Work that may affect the external appearance of your property may also require Planning Permission. Please contact the duty Planning Officer on 01856 873535 ext 2504 for further information.

Building Standards in Orkney

The Building Standards Function in Orkney is part of Development and Infrastructure of the Orkney Islands Council.

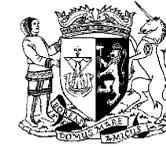
Further information

Additional information can be obtained by contacting the Building Standards Office at:

The One Stop Shop
Orkney Islands Council
Council Offices, School Place
KIRKWALL, Orkney
KW15 1NY
Telephone: **01856 873535** Ext: **2729**

Advice and guidance is provided free of charge by a Building Standards Officer at the One Stop Shop between the hours of 9am & 5pm weekdays.

Additional information is also available by accessing the Orkney Islands Council website on www.orkney.gov.uk



ORKNEY
ISLANDS COUNCIL

Building Standards

EXEMPT WORKS (DOMESTIC BUILDINGS)

**Orkney Islands Council
Council Offices, School Place
Kirkwall, Orkney
KW15 1NY**

Information Leaflet No . 3